

IRONCORE INSPECTIONS & ENVIRONMENTAL

Fort St. John, BC
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RESIDENTIAL PROPERTY INSPECTION

1234 Main Street
Fort St. John, BC
Client Name
06/17/2026 – 9:00 AM

Inspector

Christopher Amstutz
Licensed Home Inspector — BC
InterNACHI Member

Serving Fort St. John, Charlie Lake, Taylor, Dawson Creek & Northern BC

Seeing Beyond the Surface

Comprehensive residential inspections including roofing, structure, electrical, plumbing, HVAC, insulation, thermal imaging, moisture detection, appliance testing, and detailed digital reporting.

Included With Every Inspection:

- Thermal Camera + Moisture Meter
- Full Roof Walk + Drone Support as Needed
- Full Attic + Crawlspace Inspection
- Full Appliance + HVAC Testing
- In-Person Walkthrough
- Detailed Digital Report with Photos

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SUMMARY



MINOR DEFECT,
MAINTENANCE ITEM, OR FYI
ITEM



RECOMMENDATION



SIGNIFICANT DEFECT

These summary pages are not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your Florida real estate agent or an attorney.

- ⊖ 2.2.1 Exterior - Driveway & Walkway Conditions: Driveway Cracking - Minor
 - ⊖ 2.3.1 Exterior - Siding, Flashing & Trim: Siding/Trim Damage Present
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 - ⚠ 4.8.1 Electrical - Branch Wiring : Electrical Box - Missing Cover
 - ⊖ 4.10.1 Electrical - Ceiling Fans: Lights Not Functional
 - ⊖ 4.11.1 Electrical - Receptacles: Loose Receptacle Tension
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 - ⊖ 4.12.1 Electrical - GFCI Protection: GFCI Protection Not Present/Found
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 - ⊖ 6.3.3 Interior Areas - Ceiling Condition: Nail Pops Present
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- ⊖ 6.3.5 Interior Areas - Ceiling Condition: Possible Missing Insulation - Thermal Imaging
- ⊖ 6.5.1 Interior Areas - Windows: Seal Failure Present
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- ⊖ 12.7.1 Heating, Cooling - Air Supply/Registers: Dust in Return Plenum / Ducts
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1: INSPECTION DETAILS

Information

General: Occupancy Occupied, Furnished	General: In Attendance Client, Client's Agent	General: Type of Building Single Family
General: Weather Conditions Cloudy, Dry	General: Temperature at the Time of Inspection Greater Than 65 Degrees	General: Contact Buyer (If Not Present) Buyer was Present, Buyer's Agent Present

2: EXTERIOR

Information

General Info: Foundation Type Slab on Grade	General Info: Wall Construction Type Wood Lumber	General Info: Siding Material Vinyl Siding, Brick Veneer
General Info: Soffit & Fascia Material Vinyl Soffit, Aluminum-Clad Fascia	General Info: Vegetation Obscuring Wall(s) Visibility? No	Porch/Patio, Screened-In Lanai : Appurtenance Covered Porch

General Info: Exterior Photos



Driveway & Walkway Conditions: Driveway Material
Concrete

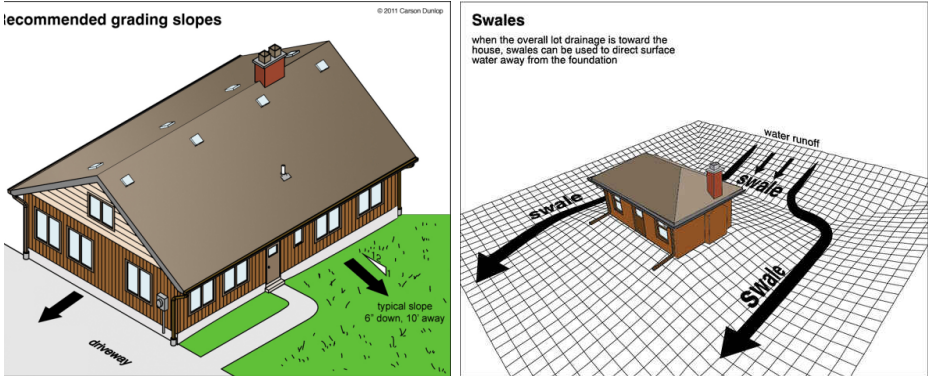


Porch/Patio, Screened-In Lanai : Material
Wood, Concrete



Vegetation, Grading, Drainage & Retaining Walls: Grading / Drainage Overview

The grounds in contact with the structure were inspected to determine that they were graded in a manner to allow rainwater to adequately drain away from the structure. The soil is recommended to slope away from the foundation, with a 6 inch drop in elevation, in the first 10 feet away from the structure (5% grade). When the 5% grade can not be achieved, swales or drains should be used as needed to properly divert rainwater runoff. Any flat or low areas around the home should be backfilled and sloped away from the foundation, to prevent potential moisture infiltration into areas below grade (if applicable). No significant grading deficiencies were observed at the time of inspection unless otherwise noted in this report.



Limitations

General Info

PROBING OF WOOD

The FL Standards of Practice requires any areas of wooden trim, siding, or other wood components to be probed if water damage (wood rot) was suspected. Any photos of a screwdriver stuck into wood represents water damage/wood rot to some extent. **Hidden damage is always a possibility at these areas.** These areas of damage will require further evaluation to determine the extent of the damage, along with repairs made as deemed necessary by a qualified contractor.

General Info

UPPER LEVEL SURFACES

FYI - Due to their height from the ground, the upper-level exterior surfaces and details of the sections of the home were physically inaccessible for thorough review. Reportable conditions may be present which I was unable to observe.

General Info

PERSONAL BELONGINGS

Personal belongings were present on the exterior of the home. Items such as patio furniture, rugs / mats, potted plants, etc. are not moved for visual accessibility.

General Info

REPRESENTATIVE NUMBER INSPECTED

The State of Florida Standards of Practice states that a representative sample of exterior components shall be inspected on each side of the home when multiple pieces make up an item or component (i.e. cladding, windows, overhangs, etc.). We try to ensure that all portions are inspected but height from the ground, vegetation, or other factors may prevent full accessibility or visibility of some items.

Driveway & Walkway Conditions

DRIVEWAY/WALKWAY INFORMATION

The driveway(s) and walkway(s) (as applicable) were inspected to determine their affect on the structure of the home only. I will also report on any visible deficiencies that may be present such as; cracking, displacement, or other damage. Any comments relating to damage to the concrete, asphalt, and/or masonry surfaces should be viewed as a courtesy and may not be an all-inclusive listing, as the State of FL only requires that driveway(s) and walkway(s) be reported on with their respected affect on the structure. No significant deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

Siding, Flashing & Trim

SIDING FLASHING AND TRIM INFORMATION

The walls and wall cladding were inspected looking for significant damage, presence of proper flashings, and potential water entry points, etc. No reportable deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

Vegetation, Grading, Drainage & Retaining Walls

GRADING LIMITATIONS

The performance of the grading and lot drainage is limited to the conditions existing at the time of the inspection only. I cannot guarantee this performance as conditions constantly change. Heavy rain or other weather conditions may reveal issues that were not visible or foreseen at the time of inspection. Furthermore, items such as leakage in downspouts and gutter systems are impossible to detect during dry weather and can add moisture to the soil in the area around the foundation. The inspection of the grading and drainage performance in relation to moisture infiltration through foundation walls or under slabs, therefore, is limited to the visible conditions at the time of inspection, and evidence of past problems. I recommend consulting with the sellers as to any previous moisture intrusion into the home, as well as reading over the Sellers Disclosure which should list any such issues.

Recommendations

2.2.1 Driveway & Walkway Conditions



DRIVEWAY CRACKING - MINOR

Minor cosmetic cracks observed, which may indicate movement in the soil. Recommend monitor and/or have driveway contractor patch/seal.



2.3.1 Siding, Flashing & Trim



SIDING/TRIM DAMAGE PRESENT

Damage was present to the siding and/or trim in one or more areas. Repairs or replacement of damaged portions as deemed necessary by a siding contractor is recommended to prevent moisture infiltration.

Recommendation

Contact a qualified handyman.



Right rear



Right front

2.3.2 Siding, Flashing & Trim

UNLOCKED VINYL SIDING

Unlocked siding was present. These pieces should be secured, as wind can pull the pieces off or damage them. Proper securement is recommended to be conducted by a qualified person.

Recommendation

Contact a qualified professional.



Recommendation



Left rear

2.4.1 Window Exteriors

MISSING/DAMAGED SCREENS

There are one or more windows with damaged or missing screens. Recommend having a qualified contractor evaluate and repair or replace as needed. Recommend consulting with the seller to see if the screens are present and can be installed.

Recommendation

Contact a qualified professional.



Recommendation



Right



Rear

2.6.1 Overhangs / Soffit / Fascia

GAPS PRESENT

There were gaps present on the fascia at some transitions. Sealing these areas or repairs as needed to prevent moisture infiltration is recommended by a qualified person.

Recommendation

Contact a qualified professional.



Recommendation



2.7.1 Porch/Patio, Screened-In Lanai



Recommendation

MODERATE SETTLEMENT CRACKING

Moderate settlement cracks were present on the concrete surface. If a concern, repairs are recommended to be conducted as deemed necessary by a concrete contractor.

Recommendation

Contact a qualified concrete contractor.



2.11.1 Exterior Hose Bibbs



Recommendation

LEAK FROM VALVE STEM

The referenced spigot was leaking from the valve stem area while under pressure. Repairs are recommended to be conducted as needed by a licensed plumber or other qualified person for proper operation.

Recommendation

Contact a qualified plumbing contractor.



Right rear

3: ROOF

Information

General Info: Roof Covering Material

Architectural Composition Shingles

General Info: Stage of Life Estimation

1-5 Years

General Info: Inspection Method

Walked the Roof Where Possible, From The Ground with Binoculars

General Info: Roof Protrusion Type(s)

Plumbing Stack Vent(s), Fixed Roof Exhaust Vent(s)

General Info: General Views of Roof











**NASSAU COUNTY
BUILDING DEPARTMENT**
95161 NASSAU PLACE
YULEE, FL 32097
Phone 904-530-4250 Fax 904-321-5763 Toll Free 1-800-948-3354

PERMIT NUMBER
R - 180010970
Issue Date: 11/01/2018

Permit Type: **ROOFING**

Property Number 10-18-24-1935-0018-0000	Property Address 32195 SETTLERS RIDGE DRIVE BRYCEVILLE, FL 32009
Let Number: 18	Subdivision:
Owner Information STONE, JOHN J STONE, HEATHER C	Owner Address 32195 SETTLERS RIDGE DR BRYCEVILLE, FL 32009
Contractor Information Name: SILCOX, WILLIAM S JR - COO SILCOX CONTRACTING INC (904) 591-2972	Contractor Address 6750 CISCO GARDENS RD W JACKSONVILLE, FL 32219
Building Information	
Prop. Use: RE-ROOFING REPAIR PERMIT	Est. Construction Cost: \$12,250
Scope of Work: TEAR OFF EXISTING AND REPLACE SHINGLES	

11/01/18

General Info: Roof Limitations

The inspection of the roof and its covering material is limited to the conditions on the day of the inspection only. The roof covering material, visible portions of the roof structure from within the attic (if applicable), and interior ceilings, were inspected looking for indications of current or past leaks. Future conditions and inclement weather may reveal leaks that were not present at the time of inspection. Any deficiencies noted in this report with the roof covering or indications of past or present leaks should be evaluated and repaired as needed by a licensed roofing contractor.

General Info: Stage of Life Information

We will do our best to estimate the stage of life that the shingles appeared to be in at the time of inspection.

3-tab asphalt composition shingles typically have a 12-15 year life span. This would equate to:

- First Third of Life: 1-5 years in age
- Second Third of Life: 5-10 years in age
- Last Third of Life: 10-15 years in age

Architectural Composition shingles typically have a 21-24 year life span. This would equate to:

- First Third of Life: 1-8 years in age
- Second Third of Life: 8-16 years in age
- Last Third of Life: 16-24 years in age

Clay/Concrete Tiles typically have a 40-50 year life span. This would equate to:

- First Third of Life: 1-16 years in age
- Second Third of Life: 16-32 years in age
- Last Third of Life: 32-50 years in age

Metal panels typically have a 20-50 year life span. This would equate to:

- First Third of Life: 1-14 years in age
- Second Third of Life: 14-26 years in age
- Last Third of Life: 26-40+ years in age

Rubber Membrane/Rolled Roofing typically have a 20-24 year life span. This would equate to:

- First Third of Life: 1-8 years in age
- Second Third of Life: 8-16 years in age
- Last Third of Life: 16-24 years in age

Gutters / Downspouts: Recommend Maintaining Gutters

It is recommended to periodically clean debris from the guttering channels to prevent downspouts from clogging. Clogs in downspouts can allow the gutters to overflow; damaging roof sheathing, fascia boards, and saturating grounds at the foundation.

Vents / Protrusions: Roof Protrusions Information

The plumbing stack vents, their related rain boots, and other roof penetrations were inspected by looking at their clearance, the integrity of their boots, for proper installation, or any significant defects. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Limitations

Roof Flashings

ROOF FLASHING INFORMATION & LIMITATIONS

Visible portions of the flashings were inspected looking for significant deficiencies (drip edge, sidewall, headwall, counter, step, etc - as applicable). **Typically most areas of flashings are not visible as they are covered by the roof covering material and/or the wall cladding** (as applicable), and these areas are excluded from this inspection. Therefore functionality has to be determined by looking for moisture intrusion on ceilings where the flashing was presumed to be in place, or on the roof decking from within the attic (as accessible). No reportable conditions were observed at visible portions, at the time of inspection, unless otherwise noted in this report.

Recommendations

3.2.1 Roof Surface Condition

LIFTED SHINGLE(S) PRESENT

There were "lifted" or damaged shingle(s) present. This allows the shingle to be susceptible to damage from wind as well as possibly exposing underlying nails to rain. Repairs to properly "adhere" or repair any lifted or damaged shingles is recommended to be conducted by a roofing contractor.

Recommendation

Contact a qualified roofing professional.



Right front

3.2.2 Roof Surface Condition

CONSTRUCTION DEBRIS

Construction debris was present on the roof surface at the time of inspection. Recommend having builder remove all construction debris from roof to prevent possible damage to the roof covering.

Recommendation

Contact a qualified professional.

 Recommendation



4: ELECTRICAL

Information

General Info: Electrical Panel / Service Equipment Location
Garage

General Info: Main Breaker / Service Disconnect Location
At Main Breaker by Exterior Meter

General Info: Service Amperage
150amps 120/240VAC



General Info: Electrical Panel Manufacturer
Siemens

General Info: Service Entrance Type
Underground Service Lateral

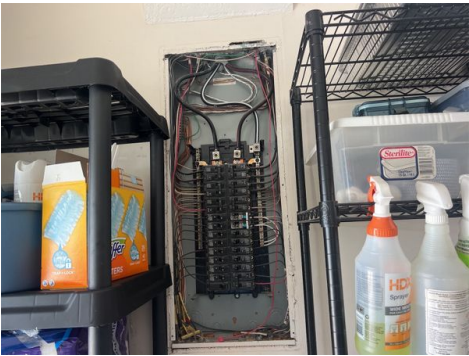
General Info: Visible Branch Wiring Type
NM Sheathed Cable

General Info: 15 & 20amp Branch Wiring Metal Type
Copper

General Info: Smoke Alarms Present at All Required Locations
Yes

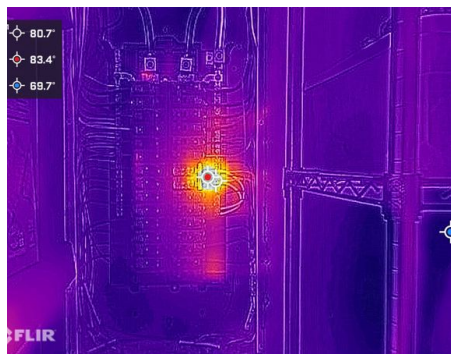
General Info: Pictures of Electrical Panel/Service Equipment

Original Findings:
The main electrical panel (called service equipment when it contains the service disconnect) was inspected looking for any wiring deficiencies or damage that may be present in the panel. No indications of reportable conditions were present at the time of inspection unless otherwise noted in this report.



General Info: No Hot Spots Observed with IR Camera

No hot spots or anomalies were observed in the electrical panel, under current loading conditions, during the inspection.



Limitations

General Info

BREAKERS INFORMATION

The breakers were inspected looking for any visible signs of damage due to arcing, heat, etc. Corresponding conductors were inspected looking for multiple lugging, sizing, damage, etc. No deficiencies were present at the time of inspection unless otherwise noted in this report.

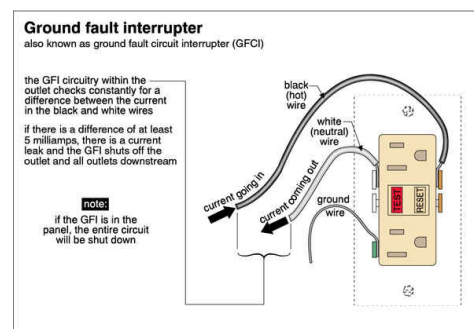
General Info

GFCI INFORMATION

Ground Fault Circuit Interrupter (GFCI) is a protection feature that allows a circuit or receptacle to "trip" or "shut off" if as little as a 5 milliamp differential is detected between the "hot" and "neutral" conductors. This protection is recommended for receptacles within 6 feet of a sinks edge, or where something plugged into a receptacle could come into contact with water, including: bathrooms, kitchens, on the exterior, in garages, laundry rooms, and basements and crawl spaces. Although GFCI protection may not have been required in some or all of these areas when the home was built, their installation is highly recommended and is typically inexpensive.

GFCI protection is only tested for if the circuit is protected by a visible receptacle containing a "Test" and "Reset" button, or a GFCI breaker in the electrical panel, as the UL (underwriters laboratory) only recognizes testing this protection by depressing the "Test" button on the receptacle or breaker, and not by the use of a polarity tester.

As well, testing with a polarity tester can trip a hidden GFCI leaving the circuit inoperable. Please see above for area(s) that were not able to be tested or confirmed for GFCI protection, and these area(s) are recommended to be tested for GFCI protection at a time when personal belongings have been removed from the home.



General Info

BRANCH WIRING INFORMATION

The branch wiring was inspected at visible portions looking for any significant deficiencies or defects that could be a fire and/or safety hazard; including but not limited to: connections made outside of a junction box, wiring terminations, open junction boxes, damage, the wiring material, improper support, etc. The majority of branch feeders are not visible due to being behind wall and ceiling coverings, insulation, etc. No significant deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

General Info

LOW VOLTAGE SYSTEMS/WIRING NOT INSPECTED

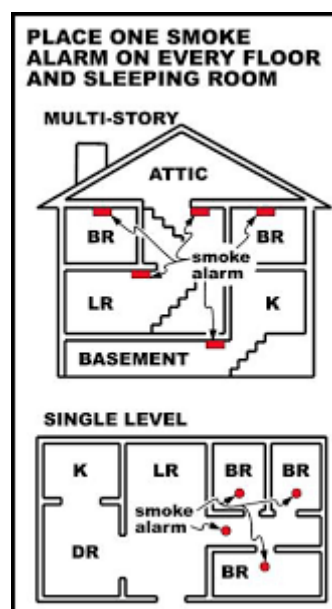
Any low voltage systems in the home were not inspected and are excluded from this inspection. Including but not limited to: phone/telecom systems, cable coaxial systems, ethernet wiring, alarm systems, low voltage lighting and applicable wiring, etc.

Smoke Alarms / Detectors

SMOKE ALARMS INFORMATION

Smoke alarms are recommended to be installed in each sleeping room, (1) outside of each sleeping room(s), and one per level including habitable attics and basements. **I recommend replacing the batteries and testing the smoke alarms before spending your first night in the home.** Several other recommendations relating to smoke alarms and fire safety are recommended by the NFPA, and can be found here:

<http://www.nfpa.org/public-education/by-topic/smoke-alarms/installing-and-maintaining-smoke-alarms>



Smoke Alarms / Detectors

SMOKE ALARMS NOT TESTED

The smoke alarm units were not tested due to the possibility of them being integrated with the whole structure fire alarm system. I recommend consulting with the sellers as to their operation as well as confirming they are operational.

Recommendations

4.2.1 Service Equipment / Electrical Panel

MISSING/IMPROPER BUSHINGS

There was wiring entering the panel without the proper protective bushings in place. Wiring that enters the panel should be solidly anchored and protected where it enters the panel by a bushing to prevent the sharp edges of the panel box from damaging the wiring and creating an equipment/safety hazard. The installation of proper bushing(s) is recommended to be conducted by a licensed electrician.

Recommendation

Contact a qualified electrical contractor.



Recommendation



4.8.1 Branch Wiring

ELECTRICAL BOX - MISSING COVER

There were electrical box(es) present without a cover. This is a potential electrocution hazard, and can be a fire hazard when the box is located near combustibles, due to the possibility of arcing. The installation of UL listed cover(s) is recommended to be conducted by a licensed electrician on any and all electrical boxes in the home missing covers.

Recommendation

Contact a qualified electrical contractor.



Significant Defect



attic

4.10.1 Ceiling Fans

LIGHTS NOT FUNCTIONAL

The referenced ceiling fan light(s) were not functional at the time of inspection. This may be as simple as a burned out bulb, but the possibility exists that it could be more extensive. I recommend confirming proper operation prior to closing.

Recommendation

Contact a qualified professional.



Recommendation



Rear

4.11.1 Receptacles

LOOSE RECEPTACLE TENSION

 Recommendation

There were receptacles with loose tension present. This causes electronics to fit loosely into the receptacle, and can prevent full contact with the neutral, hot, or ground prongs of the appliance. An evaluation and replacement of any affected receptacles is recommended to be conducted by a licensed electrician.

Recommendation

Contact a qualified electrical contractor.



Dining Room



Right hallway



Living Room



Living Room



Left rear Bedroom



Left hallway



Guest bathroom

4.11.2 Receptacles

DAMAGED OR MISSING WEATHERPROOF COVER(S)

There were exterior receptacle(s) that had damaged and/or missing weatherproof covers. Replacement of any damaged/missing covers is recommended to be conducted by a licensed electrician or other qualified person as needed.

Recommendation

Contact a qualified electrical contractor.



Right

4.12.1 GFCI Protection

GFCI PROTECTION NOT PRESENT/FOUND

GFCI protection was not present/found at the referenced area(s), at the time of inspection. GFCI protection is recommended to be present for the exterior, garage, basement, laundry area, and crawl space receptacles for safety, as well as kitchen and bathroom receptacles within 6 feet of a sink's edge. Repairs or upgrades as needed to ensure GFCI protection is present at all recommended locations for safety is recommended to be performed by a licensed electrician.

Recommendation

Contact a qualified electrical contractor.



Front door



Garage

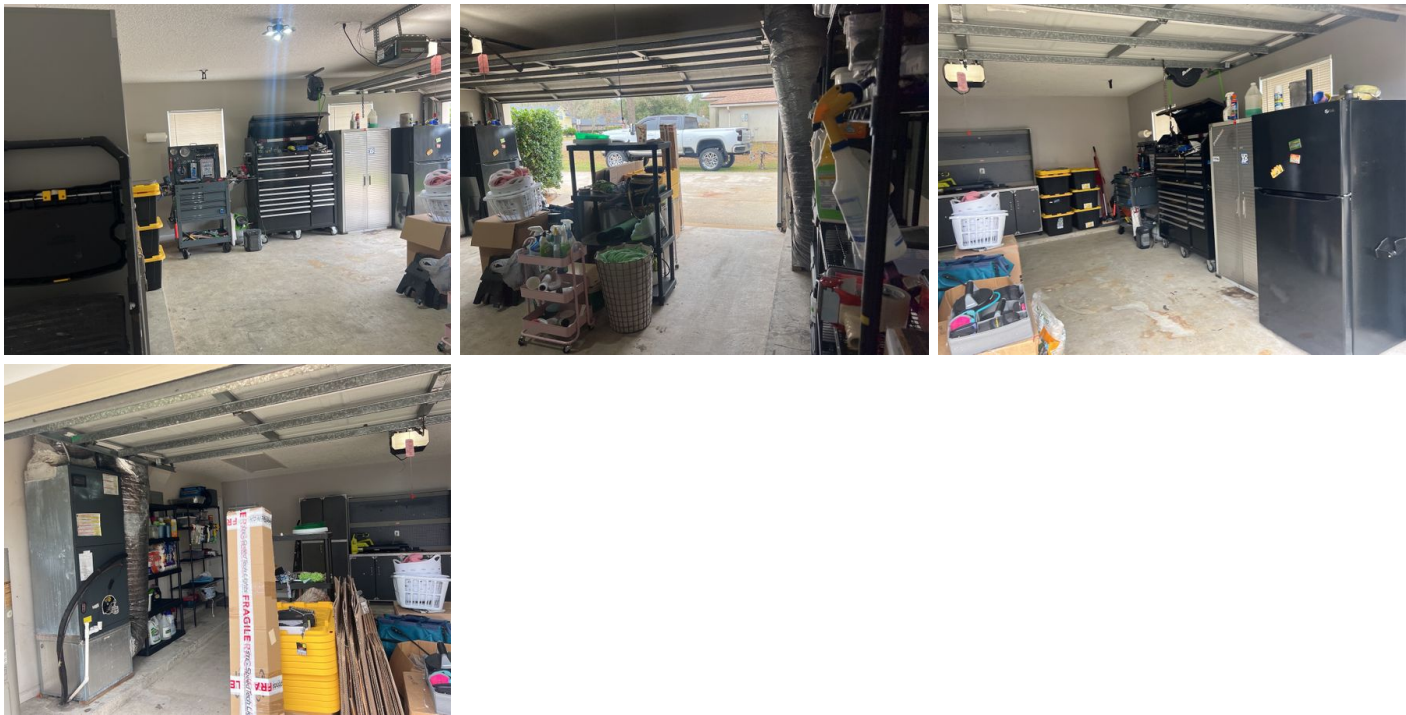
5: GARAGE

Information

General Info: Proper Separation
Door Present

Yes

General Info: Garage View(s)



General Info: Personal Belongings Present

Personal belongings and storage was present in the garage. These items covered a portion of the foundation walls and concrete slab floor surface. The condition of these items are excluded from this inspection. Recommend taking a final walk through of the home once vacant, to observe any areas that were not accessible during the inspection.

Limitations

Garage Door Safety

RESISTANCE NOT TESTED

The "Resistance" test of the garage door(s) was not conducted due to the possibility of damaging the door and/or the opener, should the resistance feature not function properly, and this functionality is excluded from this inspection. Garage doors contain two safety measures to prevent someone from being injured or pinned by a closing garage door. Photoelectric eyes, and the ability to auto reverse, if the door meets resistance or a solid object. We recommend testing this feature for functionality once taking ownership of the home. The test can be conducted by placing a 2" X 4" laid on the ground, underneath of the door. When the door is closed, it should contact the 2" X 4", and auto-reverse. If it does not, adjustments to the "force close" setting on the opener may need to be made, and/or a garage door contractor should evaluate.

6: INTERIOR AREAS

Information

General Info: View of Interior Rooms

General view of interior rooms.





Limitations

Wall Condition

WALLS INFORMATION

Visible portions of the interior walls were inspected looking for signs of moisture infiltration, settlement cracking, significant damage, or other significant deficiencies. No reportable deficiencies were observed at the time of inspection unless otherwise noted in this report.

Wall Condition

WALL/CEILING CRACK(S) INFORMATION/LIMITATIONS

Cracks are reported on by their presence, location, and visual condition as existing at the time of inspection only. I can not render a professional opinion as to a cracks severity, cause, or whether it has been recently active. **Only a Structural Engineer can render a judgement on the severity and cause of settlement; movement; thermal expansion; and cracks; and they should be consulted as desired.**

Ceiling Condition

CEILINGS INFORMATION

The ceilings throughout the home were inspected looking for moisture intrusion/staining due to roof leaks or leaking plumbing pipes. Settlement cracks, and significant defects were also inspected for. No reportable conditions or moisture stains were visibly present at the time of inspection unless otherwise noted in this report.

Ceiling Condition

MOISTURE STAINS INFORMATION

The ceilings throughout the home were inspected looking for moisture stains from roof leaks, plumbing leaks, or other sources. No moisture stains were present on the ceilings at the time of inspection unless otherwise noted in this report.

Floor Condition

FLOORS INFORMATION

Visible portions of the floors throughout the home were inspected looking for significant floor deficiencies. No reportable conditions were visibly present at the time of inspection unless otherwise noted in this report.

Windows

WINDOWS INFORMATION

The windows were inspected by operating a representative number (I will try and operate every window in the home, but access, height restrictions and personal belongings may block accessibility to some). Their operation was tested, along with looking for damage, broken glass, failed seals, etc. No reportable deficiencies were present unless otherwise noted in this report.

Windows

GLASS SEAL FAILURE LIMITATIONS

Reporting on double pane glass seal failure is not required by the State of FL Standards of Practice, and lies beyond the scope of a home inspection, as glass may not show signs of seal failure at the time of inspection, but may become visible later due to changes in conditions. Desiccant material in the glass spacer can absorb moisture in between the panes, essentially masking seal failure. Also, changes in weather conditions (high humidity, etc.) may reveal seal failure that was not visible at the time of inspection. Seal failure is where the double pane glass loses its adhesion with the inner spacer, allowing moisture and debris in between the panes of glass. We will report on any insulated glass units that were showing signs of seal failure at the time of inspection, but this should not be relied upon as a complete listing of affected units. If glass seal failure is a concern, you are advised to seek the services of a window or glass repair contractor.

Interior Doors

HINGE LOOSE

Loose hinge present in one or more doors. Recommend repair



Master Bedroom

Surfaces - Overall

SURFACES INFORMATION

Visible portions of the interior wall, floor, and ceiling surfaces were inspected looking for indications of moisture intrusion, settlement, or other significant defects. Cosmetic and minor deficiencies are not typically reported on, but may be noted while looking for significant defects, any listing of these items should not be construed as an all-inclusive listing. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.

Recommendations

6.3.1 Ceiling Condition

Recommendation

MOISTURE STAINING/DAMAGE PRESENT

Moisture stain(s) was present on the ceilings in the referenced areas. Although the area(s) was dry at the time of inspection, moisture stains should be monitored for future leaks. Recommend inquiring with the sellers about the stains as they would have firsthand knowledge of why the stain is present, and what repairs were carried out to address it. If they are unsure of the stains, a roofing contractor or plumbing contractor (as applicable) should evaluate and make repairs as needed. Repairs to any damage is recommended as needed by a qualified person.



Front left bedroom

Recommendation

Contact a qualified professional.

6.3.2 Ceiling Condition

Minor Defect, Maintenance Item, or FYI Item

PATCHED/REPAIRED AREAS ON CEILINGS

FYI - Patched or repaired area(s) were present on the referenced ceiling(s). These area(s) tested as dry at the time of inspection, and the reason for the repairs was undetermined. I recommend consulting with the seller(s) as to why the repairs were conducted along with obtaining any applicable invoices or records of the repairs.



Foyer

Recommendation

Contact the seller for more info

6.3.3 Ceiling Condition

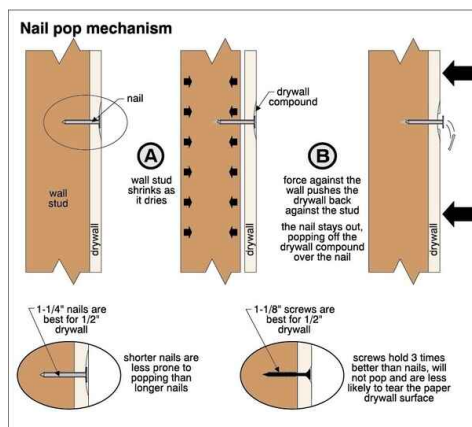
NAIL POPS PRESENT

Recommendation

There were "nail pops" present on the ceilings in areas. This is where a nail that supports the ceiling drywall, protrudes through the paper face of the drywall, typically from expansion and contraction or standard settlement. Repairs are recommended as desired by a licensed and insured professional.

Recommendation

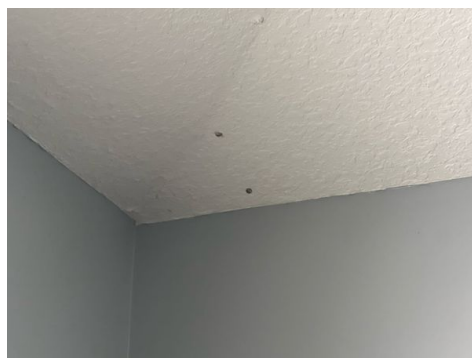
Contact a qualified handyman.



Laundry



Office



Master Bedroom

6.3.4 Ceiling Condition

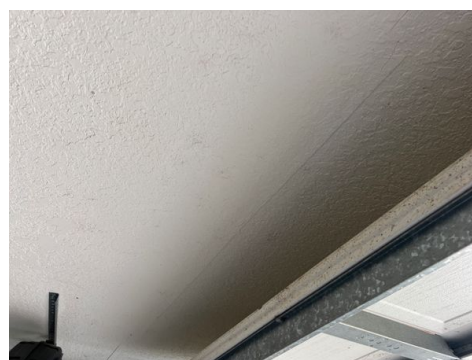
GENERAL CEILING DEFICIENCIES PRESENT

Recommendation

General deficiencies were present to the ceiling which may include cracking, waviness, visible tape, and/or other deficiencies. Repairs are recommended as needed by a drywall contractor or other qualified person.

Recommendation

Contact a qualified drywall contractor.



Garage

6.3.5 Ceiling Condition

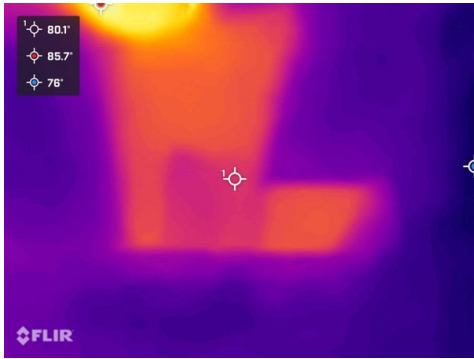
POSSIBLE MISSING INSULATION - THERMAL IMAGING

 Recommendation

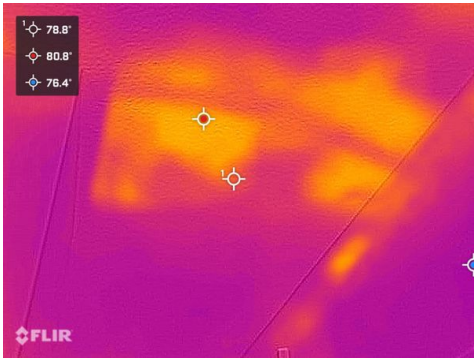
Anomalies were seen with thermal imaging that are typically representative of missing insulation. An evaluation of these area(s) and the installation of insulation as needed is recommended to be conducted by an insulation contractor.

Recommendation

Contact a qualified insulation contractor.



Master closet



Foyer

6.5.1 Windows

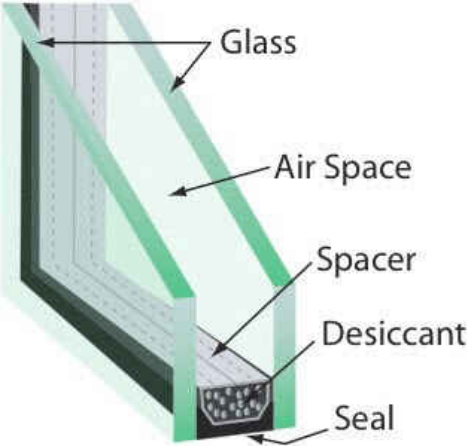
SEAL FAILURE PRESENT

 Recommendation

There were window(s) present with seal failure present. This is where the double pane glass loses its adhesion with the inner spacer, allowing moisture/debris in between the panes of glass. Seal failure can result in some loss of energy efficiency and can obscure visibility through the glass. Some windows may not show signs of seal failure due to desiccant in the glass spacer absorbing moisture in between the panes, as well weather conditions in the future (high humidity, etc.) may reveal more seals that are failed than what was observed at the time of inspection. A review of all windows in the home with replacement of any affected glass found is recommended to be performed by a window company or glazing contractor.

Recommendation

Contact a qualified window repair/installation contractor.



Left rear bedroom



Office



Left front bedroom



Left middle bedroom

6.5.2 Windows

WINDOWS INOPERABLE

 Recommendation

The window(s) in the referenced areas were stuck, painted shut, or otherwise inoperable. Repairs are recommended to be conducted as needed for proper operation by a window installation contractor or other qualified person.

Recommendation

Contact a qualified window repair/installation contractor.



Left front bedroom



Left middle bedroom



Left rear bedroom



Master bedroom



Master Bathroom



Office



Dining Room

6.5.3 Windows

POSSIBLE SEAL FAILURE

 Recommendation

There were windows present that showed potential indications of seal failure. Discerning between dirty windows and seal failure can be difficult when the seal failure is not visually obvious. Changes in conditions such as high humidity and temperature extremes can allow the glass to show signs of failure that were not visible at the time of inspection. If seal failure is a concern, I recommend having a glazing contractor to evaluate all the windows in the home.

Recommendation

Contact a qualified window repair/installation contractor.



Master Bathroom

6.7.1 Interior Doors

DOOR NOT PRESENT/INSTALLED

 Minor Defect, Maintenance Item, or FYI Item

FYI - The door slab has been removed at the referenced area(s). The installation of a door slab is recommended to be conducted by a qualified person as desired.

Recommendation

Contact a qualified handyman.



Master closet



Front left bedroom closet



Left rear bedroom closet

7: KITCHEN

Information

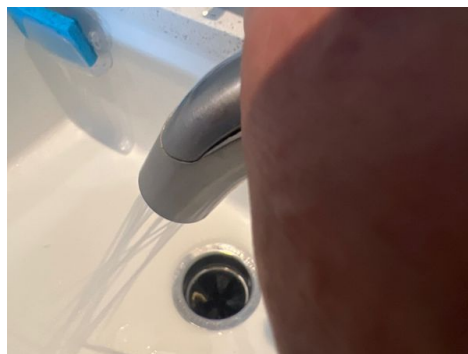
Oven/Range: Energy Source
Electric

**Oven/Range: Range Anti-tip
Bracket Present**
No

General Info: General View of Kitchen



Sink(s): General View of Fixtures/Faucets



Undersink Plumbing - Kitchen: Plumbing Information

The supply and drain pipes were inspected looking for leaks, improper installation, and other deficiencies. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.



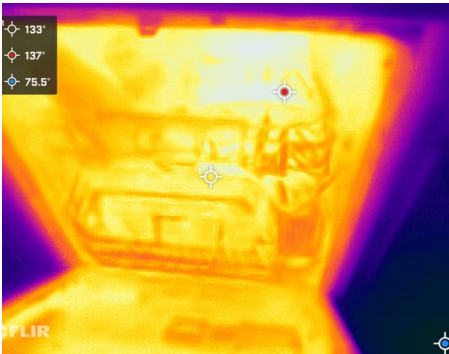
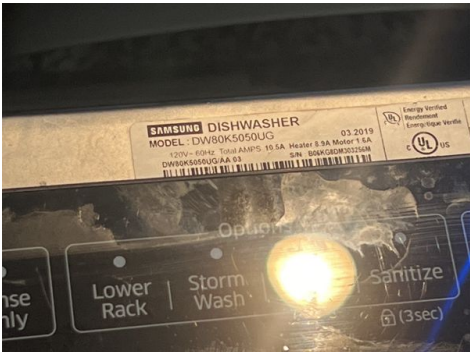
Disposal Unit: Disposal Information

The garbage disposal was inspected by activating it at normal controls and ensuring the motor ran, while also looking for leaks from the unit, an exposed power cord, heavy rust, or other deficiencies. The unit is not tested to determine if it can effectively "grind" food waste. No reportable conditions were present at the time of inspection unless otherwise noted in this report.



Dishwasher : Dishwasher Information

The dishwasher was operated by running a wash cycle, and was functional at the time of inspection. No leaks or water was present at the base of the unit at the completion of the cycle. The unit's efficiency of cleaning dishes is not tested for. No deficiencies were observed with the unit unless otherwise noted in this report.



Microwave: Microwave Information

The microwave was tested by initiating it on "Cook" mode, and the unit powered on at the time of inspection. The efficiency of the unit or other functions are not tested for. No reportable conditions were present unless otherwise noted in this report.



Oven/Range: Oven Information

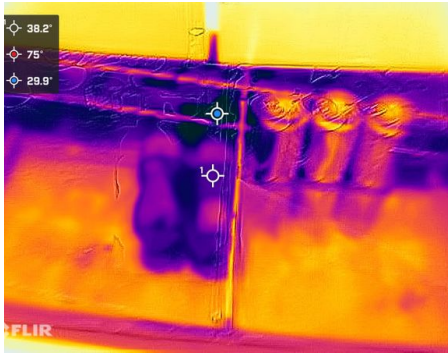
The oven was operated by placing into "Bake" mode, and heat was produced from the burner(s) and/or elements. Temperature calibration, "clean" options, and other functions are not tested. Recommend to seeking further evaluation of additional functions if desired/needed. No indications of deficiencies were observed at the time of inspection, unless otherwise noted in this report.



Refrigerator: Refrigerator Information

The refrigerator was inspected for general function and appeared to be working at the time of inspection. Refrigerators are not moved to look at the condition of the floor under them, or the cabinetry around them. Therefore the water line and power receptacles are not visible and excluded from this inspection. If the refrigerator is a concern, we recommend having it evaluated by an appliance repair company or other qualified person prior to closing.





Limitations

Undersink Plumbing - Kitchen

UNDERSINK PLUMBING VISIBLY OBSTRUCTED?

No

Recommendations

7.4.1 Disposal Unit

DISPOSAL UNIT CRACKED

Disposal unit is cracked, and leaks when in use. Recommend repair/replace

Recommendation

Contact a qualified plumbing contractor.



Recommendation



7.7.1 Oven/Range

ANTI-TIP BRACKET MISSING/NOT ENGAGED

An anti-tip bracket was not present or not engaged for the the range. An anti-tip bracket prevents the range from tipping over, if weight is applied to an open oven door, such as a child stepping or sitting on the door. Ranges contain a warning label on the inside of the oven door with more information. This bracket can be purchased at home improvement stores for approximately ten dollars. The installation of an anti-tip bracket is recommended to be conducted by a qualified person for safety.

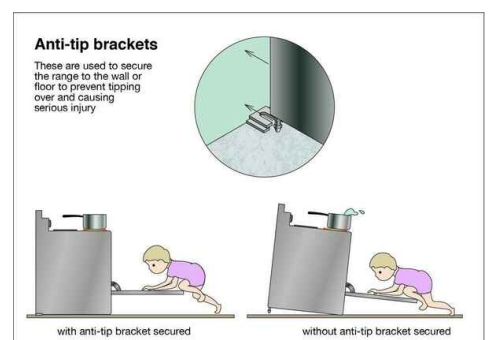
[http://www.sears.com/ search=anti%20tip%20bracket%20for%20oven](http://www.sears.com/search=anti%20tip%20bracket%20for%20oven)

Recommendation

Contact a qualified professional.



Recommendation



7.8.1 Refrigerator



NO ICE

No ice and was produced from the refrigerator dispenser. Recommend having a qualified contractor evaluate and repair as needed.

Recommendation

Contact a qualified professional.

8: BATHROOM(S)

Information

General Info: Undersink Plumbing Visibly Obstructed? Partially

General Info: Ventilation Sources Ventilation Fan(s), Window(s)



General Info: General View of Bathrooms General view of the bathrooms.



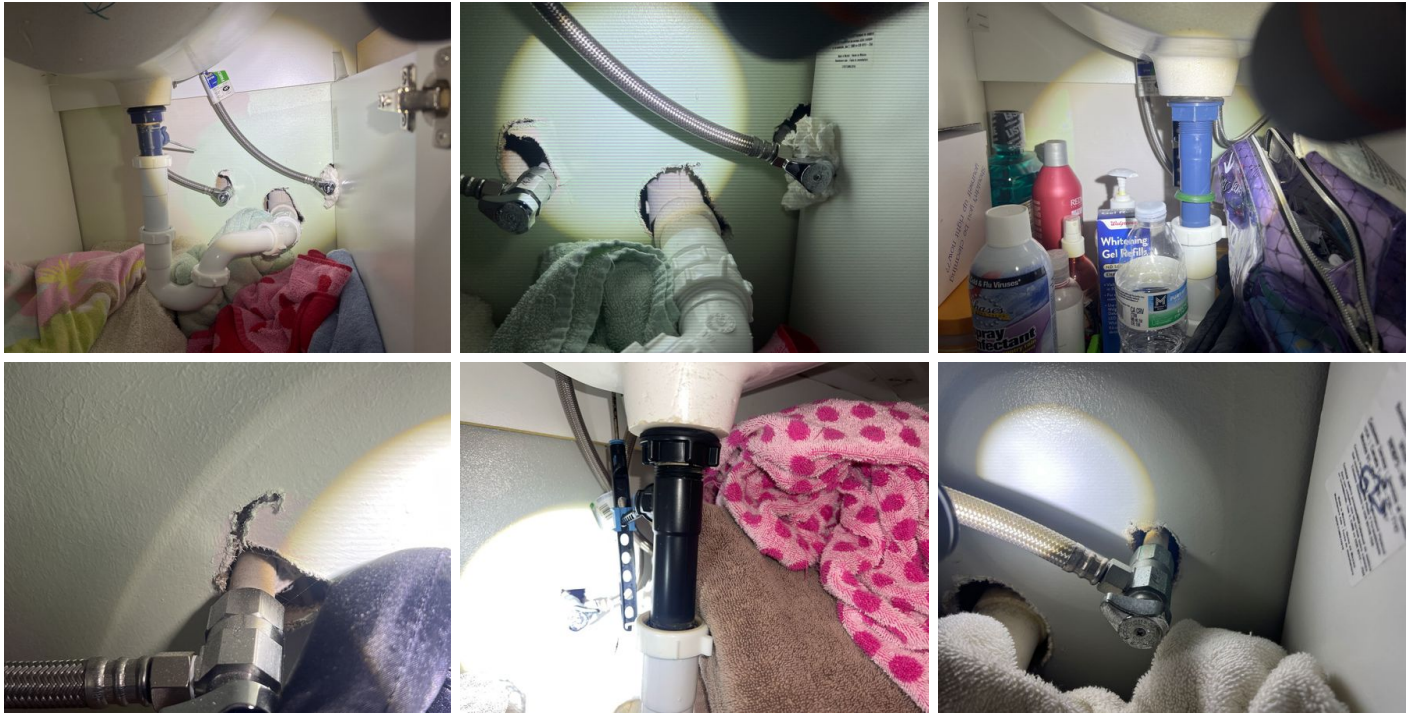
General Info: General View of Fixtures/Faucets



General Info: Toilet Valve Pictures



General Info: Under Sink Pictures



Sinks, Counter & Countertops: Cabinet & Countertop(s) Information

The cabinets and countertops were inspected by looking for significant defects. No deficiencies were observed at the time of inspection unless otherwise noted in this report.

Toilet(s): Toilet(s) Information

The toilets were inspected by flushing them to ensure they were flushing adequately and to determine no leaks were present at the water supply line or tank location. No deficiencies were observed at the time of inspection unless otherwise noted in this report.

Shower(s): Showers Information

The shower(s) were inspected by operating the water valve(s) and ensuring proper flow and drainage was present, looking for leaks, and/or any significant defects. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Shower Walls: Shower Walls Information

The shower walls were inspected looking for any significant damage or areas that could allow for water infiltration behind the walls. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Limitations

General Info

SINK PLUMBING INFORMATION

The visible portions of the sink plumbing was inspected by running water through the drain pipe for over one minute and looking for leaks from the drain pipe / trap assembly, water supply lines, and areas underneath of the sink area (ceiling below/basement/crawl space). Other significant defects are also looked for with the plumbing. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.

Ventilation

VENTILATION INFORMATION

The bathroom ventilation is reported on by its source; windows or ventilation fans are acceptable forms of ventilation for bathrooms containing a tub and/or shower. If fans are present they will be tested by operating the switch and listening for proper air flow. Although windows in a bathroom can substitute for a fan, a fan is still recommended due to not utilizing windows in colder winter months. No deficiencies were observed with the ventilation at the time of inspection unless otherwise noted in this report.

Recommendations8.2.1 Sinks, Counter &
Countertops

Minor Defect, Maintenance Item, or FYI Item

POP-UP NOT FUNCTIONING PROPERLY

The pop-up stopper was not functioning properly on the sink, this could include it not being connected properly, not sealing, or other defects. Repairs are recommended to be performed as needed by a qualified person for proper operation.

Recommendation

Contact a qualified handyman.



Master Bathroom

8.4.1 Bathtub(s)



Recommendation

TUB FAUCET/VALVE(S) NOT SEALED

The faucet and/or faucet valve(s) were not sealed to the shower wall. This can allow for water infiltration behind the wall creating damage. Proper sealing of any and all faucets and valves is recommended to be performed by a qualified person.

Recommendation

Contact a qualified professional.



Guest bath

8.4.2 Bathtub(s)



Minor Defect, Maintenance Item, or FYI Item

STOPPER MISSING

A stopper / pop-up was not present in the tub. The installation of a proper pop up is recommended by a qualified person.

Recommendation

Contact a qualified professional.



Guest bathroom

8.4.3 Bathtub(s)



Recommendation

DIVERTER DEFICIENCY

Sporadic issue with shower diverter, was not functioning properly, preventing water flow from the showerhead (attempted use several times, occasionally needs to be help up to function). Repairs are recommended as needed by a licensed plumber for proper operation.

Recommendation

Contact a qualified plumbing contractor.



Guest bathroom

8.6.1 Shower(s)



Recommendation

FAUCET/VALVE(S) NOT SEALED

The faucet and/or faucet valve(s) were not sealed to the shower wall. This can allow for water infiltration behind the wall creating damage. Proper sealing of any and all faucets and valves is recommended to be performed by a qualified person.

Recommendation

Contact a qualified professional.

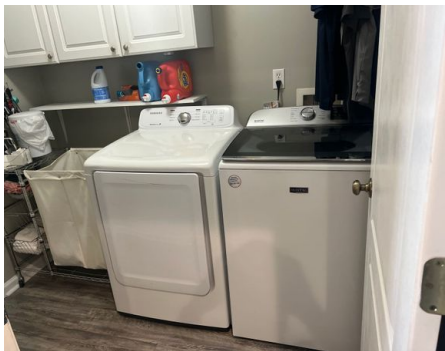


Master Bathroom

9: LAUNDRY

Information

General Info: General View of Laundry Area



Dryer Vent: Dryer Vent Information

The dryer vent was inspected to ensure it terminated to the exterior of the home (if visible) and that no damage was present at visible portions. No deficiencies were observed with the dryer vent at visible portions unless otherwise noted in this report.



Limitations

General Info

WASHER WATER SUPPLY

Water supply lines and valves are only able to be inspected for functionality and leaking if a washer is installed and functional. Inspectors are unable to turn water valves to check functionality and for leaking. If no washer is installed at time of inspection, recommend checking functionality of water supply and valves prior to closing.



Recommendations

9.4.1 Visible Plumbing -
Laundry

 Minor Defect, Maintenance Item, or FYI Item

WASHER DRAIN PAN RECOMMENDED

FYI - Due to the laundry room's location being located over living areas, the use of a washer drain pan is highly recommended should the unit leak.

Recommendation

Contact a qualified professional.



10: PLUMBING

Information

General Info: Water Pressure (Approx.)
40-50psi



General Info: Water Distribution Pipe Material (Visible Portions)
CPVC, PVC

General Info: DWV Material Type (Visible Portions)
PVC

General Info: Functional Drainage
Yes

General Info: Cleanout Location
Rear Exterior

General Info: Functional Flow
Yes



General Info: Main Gas Shut Off Valve Location
N/A

General Info: Fuel Source
NA

General Info: Location of Fuel Source
NA

General Info: Gas Pipe Material
N/A

General Info: Main Shut Off Valve Location
Well Pump





Drain, Waste, and Vent Pipes (DWV): Drain, Waste, and Vent Pipes Information

Visible portions of the (DWV) drain, waste, and vent pipes were inspected looking for leaks or indications of other significant deficiencies. No leaks or other reportable conditions were visibly present unless otherwise noted in this report. **Sewer camera inspections are recommended for any home regardless of age** due to the sewer lateral between the home and sewer service or home and septic tank not being visible and the possibility of damage, blockages, or sagging areas in this pipe. These inspections typically cost around \$250.00, but can save thousands if a problem is found.

Functional Flow: Flow Information

Water was ran from multiple faucets simultaneously to gauge that there was not a significant reduction in flow as a result of doing so. No significant reduction occurred at the time of inspection unless otherwise noted in this report.

Functional Drainage: Drainage Information

Water was ran through all drains in the home for an extended period of time to determine if functional drainage was occurring. No hindered drainage was present at the time of inspection unless otherwise noted in this report. Lived-in conditions can not be adequately replicated during an inspection and I have no control of future drainage conditions due to lived-in usage (solids being flushed down the system, etc.).

Recommendations

10.1.1 General Info

 Recommendation

SEDIMENT IN WATER

Sediment was present in the water. There can be many causes of this ranging from rusting elements in the water heater, excessive iron in the water supply, or even a crack in the main water line, pulling dirt into the potable water. Evaluation by a licensed plumber is recommended with repairs performed as needed.

Recommendation

Contact a qualified plumbing contractor.



Master Bathroom

10.1.2 General Info

DISCOLORATION OF WATER

 Recommendation

The water supply was discolored at the time of inspection. This may be associated with rust or sediment in the water heater or other deficiencies. An evaluation is recommended by a licensed plumber to determine why the water supply was discolored.

Recommendation

Contact a qualified plumbing contractor.



Master Bathroom



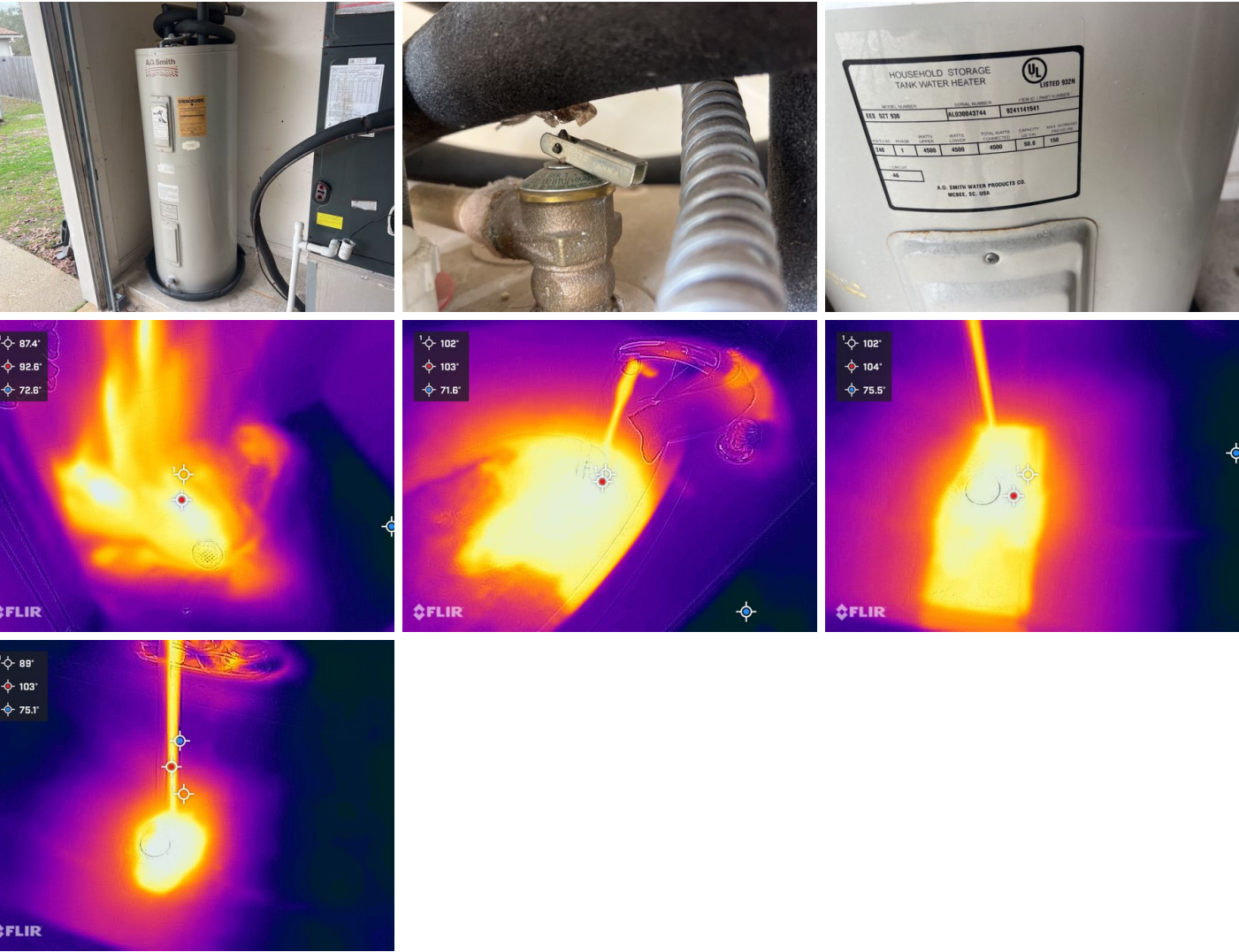
Master Bathroom

11: WATER HEATER

Information

General Info: Water Heater Location Garage	General Info: Water Heater Manufacturer AO Smith	General Info: Manufacture Year 2003 The typical life expectancy of a water heater is 12-15 years.
General Info: Capacity 50 Gallons	General Info: Energy Source Electric	

General Info: General View of Water Heater(s)
The water heater(s) appeared to be functioning properly at the time of inspection.



General Info: Discharge Pipe Present
A TPR valve discharge pipe was present. No deficiencies were observed unless otherwise noted in this report.

Recommendations

11.2.1 Water Heater Condition

LOW WATER TEMPERATURE

 Minor Defect, Maintenance Item, or FYI Item

FYI - The hot water temperature was lower than typical. The seller may have lowered the thermostat . **I recommend confirming proper operation prior to closing.**

Recommendation

Contact a qualified professional.

12: HEATING, COOLING

Information

General Info: Energy Source & Type

Electric Condensing Unit (Heat Pump)

General Info: Manufacturer
Goodman

General Info: Exterior Unit(s)
Manufacture Year
2017

General Info: Interior Unit(s)
Manufacture Year
2018

General Info: General View of HVAC System

The interior and exterior unit(s) were inspected visually and tested by ensuring they responded to normal operating controls (at the thermostat), and that conditioned air was produced. The unit(s) responded to normal operating controls and no indications of deficiencies were observed at the time of inspection.



Exterior Unit(s) - Unit #2: Exterior Unit Information

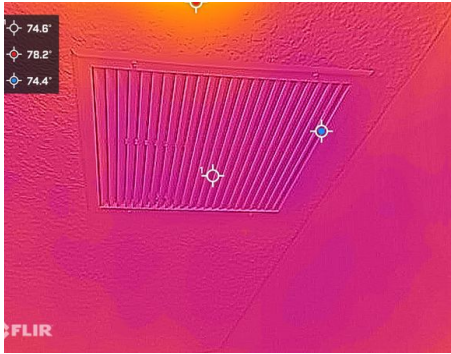
The exterior unit(s) were inspected visually and tested by ensuring they respond to normal operating controls (at the thermostat), and that conditioned air was produced. No indications of deficiencies were observed at the time of inspection, unless otherwise noted in this report.

Interior Unit(s) - Unit #2: Interior Unit(s) Information

The interior unit(s) were inspected visually and tested by ensuring they responded to normal operating controls (at the thermostat), and that conditioned air was produced. The unit(s) responded to normal operating controls and no indications of deficiencies were observed at the time of inspection, unless otherwise noted in this report.

Air Return/Filter: Temperature Reading

A temperature reading of the return air was taken at the time of inspection, to provide a baseline to compare output temperatures to, showing the system responded to normal operating controls.

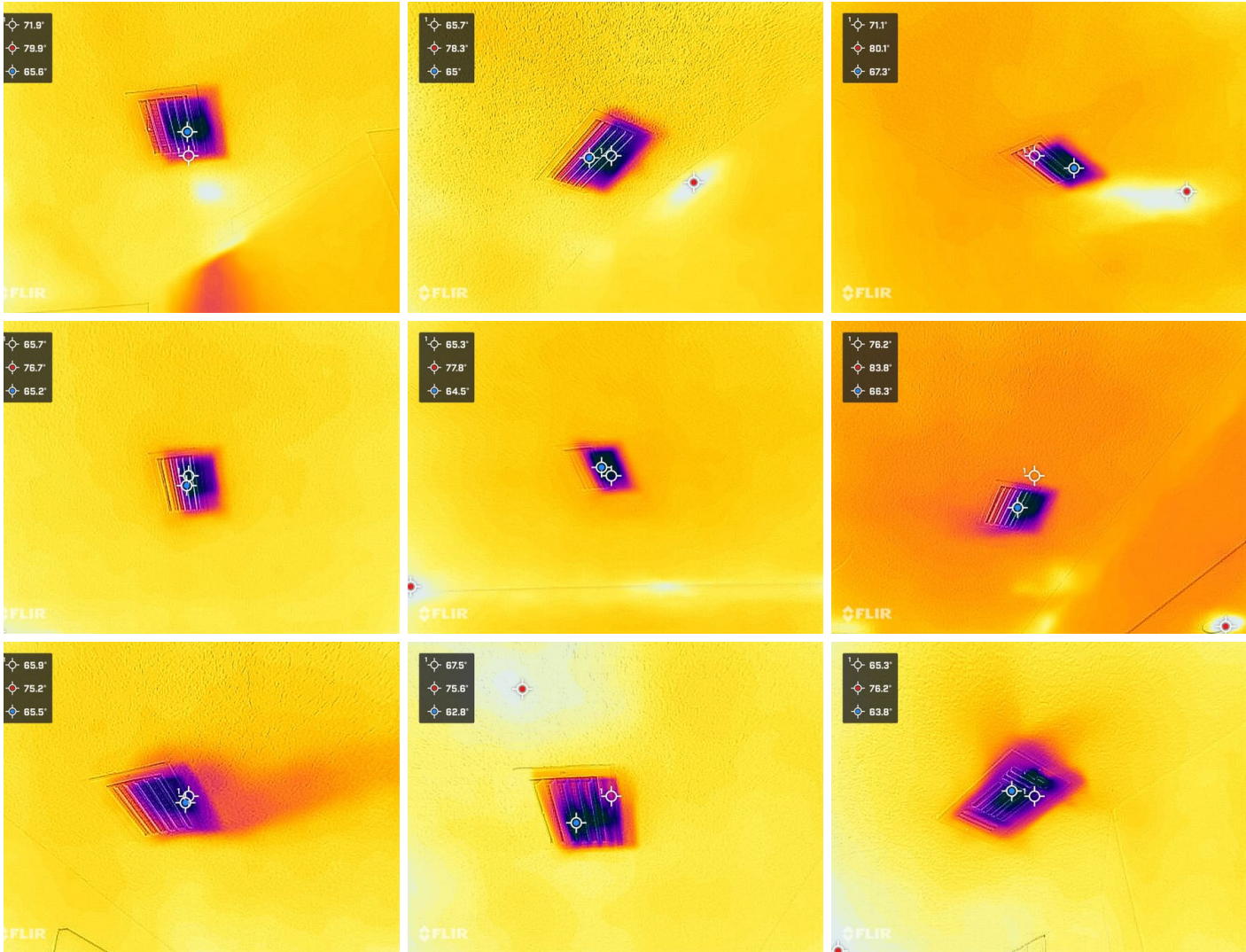


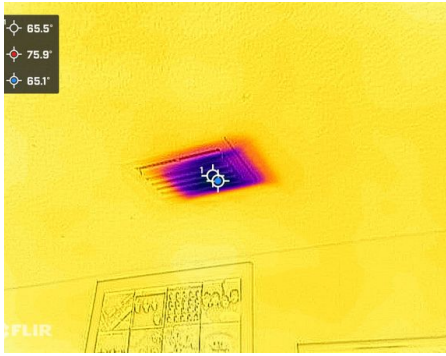
Air Return/Filter: Filter/Plenum Information

The return air grille, air filter, and return air plenum were inspected at visible portions looking for any significant deficiencies, gaps in the plenum, dirty filter(s), or an accumulation of dust. I recommend changing the filter every 30 days - 3 months depending on the style of filter used. This is one of the most important "maintenance" items you can perform as a dirty filter puts additional strain on the air handler and may cause damage to the unit.

Air Supply/Registers: Air Supply Information

An infrared camera was used to show the system responded to normal operating controls, at the time of inspection. **These images are not intended to show the exact temperature differential produced, the efficiency, or performance of the system, which lies beyond the scope of a home inspection.** HVAC thermometers (wet bulb) are required for accurate readings, and measurement points would be carried out at a different location by an HVAC contractor. Typical temperature differentials between return and supply air is 10 - 20 degrees in cooling mode, and 15 - 25 degrees in heating mode. Several factors can affect these numbers, such as, but not limited to: indoor ambient air temperature, exterior ambient air temperature, humidity, cleanliness of the air filter and evaporator, etc.





Limitations

General Info

HEATING FUNCTIONALITY OF UNIT NOT TESTED - HIGH EXTERIOR TEMPERATURES

The heating functionality of the unit(s) was not tested due to temperatures over 65 degrees at the time of inspection. HVAC manufacturers recommend not using the heating mode of HVAC units when the exterior ambient temperature is greater than 65-75 degrees (manufacturer specific), as a high pressure situation can occur. The coils on exterior units are on average 25% larger than indoor unit coils, this can allow the outdoor unit to absorb more btu/H than the interior unit can absorb, which can trip the pressure switch. If the pressure switch is defective it's possible to damage the compressor. Therefore the heating function of the unit is excluded from this inspection. I recommend consulting with the sellers in regards to the unit's past heating performance, obtaining maintenance records, and if a concern that it wasn't able to be tested, having an HVAC contractor to evaluate the system.

Recommendations

12.2.1 Exterior Unit(s) - Split System

RUST ON FAN MOTOR/HOUSING

Signs of rust was found on the fan motor and/or housing. Recommend having a qualified contractor evaluate and repair or replace to prevent further corrosion and damage to the unit.

Recommendation

Contact a qualified professional.



Recommendation



12.4.1 Interior Unit(s) - Split System

EVAPORATOR COILS DAMAGED/DIRTY

The evaporator coils had damage, deterioration or dust build up present. This affects the efficiency of the unit and can lead to premature wear and tear of the unit. Evaluation and maintenance is recommended to be performed by an HVAC contractor.

Recommendation

Contact a qualified HVAC professional.



Recommendation



12.7.1 Air Supply/Registers

DUST IN RETURN PLENUM / DUCTS

 Recommendation

Dust was present at visible portions of the return plenum and/or ductwork. Individuals perception and sensitivity varies greatly to an acceptable amount of dust in these areas, and this dust may be more of an issue to people with allergies or asthmatic conditions. If this dust is a concern, I recommend consulting a duct cleaning company as desired.

Recommendation

Contact a qualified professional.



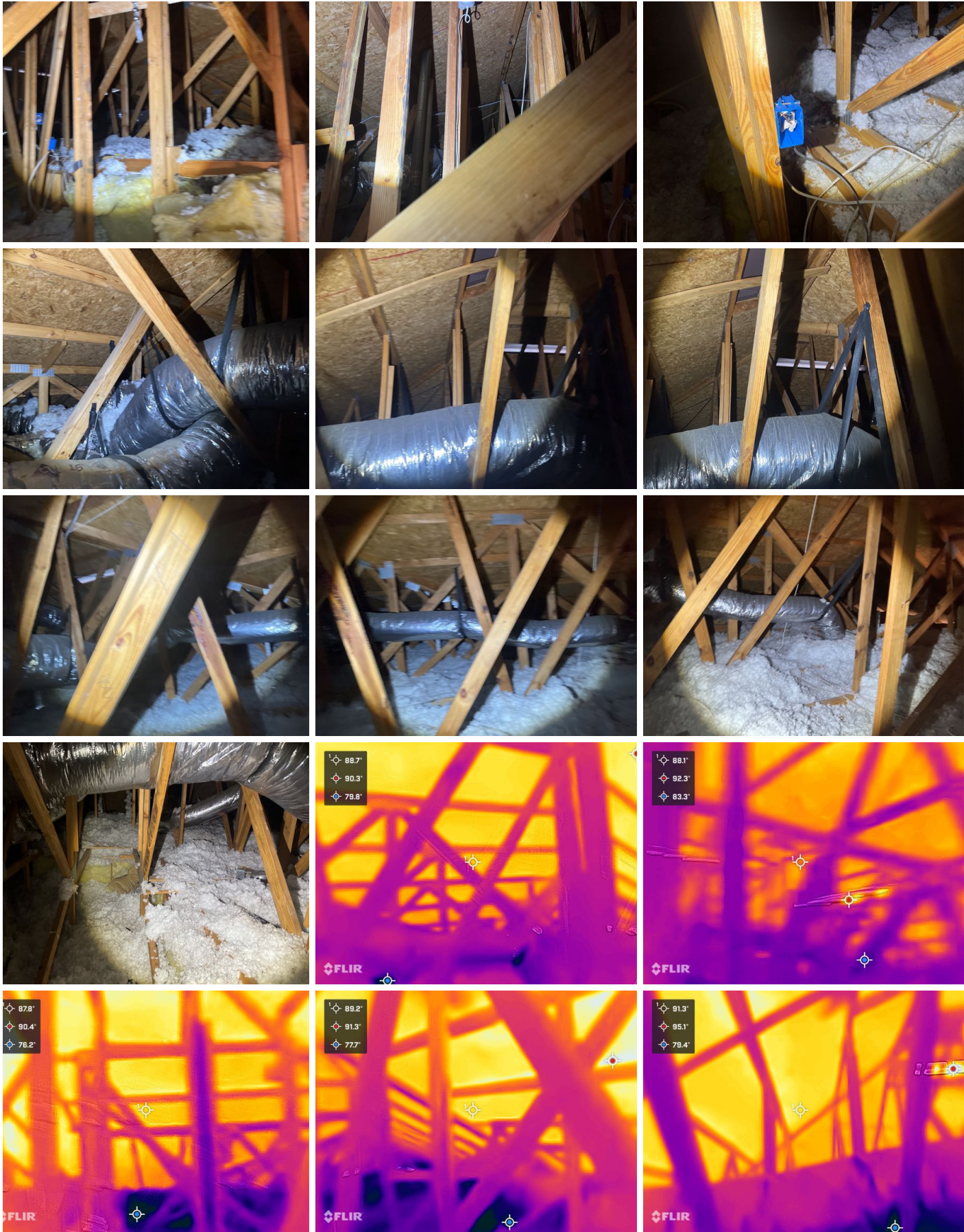
13: ATTIC, ROOF STRUCTURE, & VENTILATION

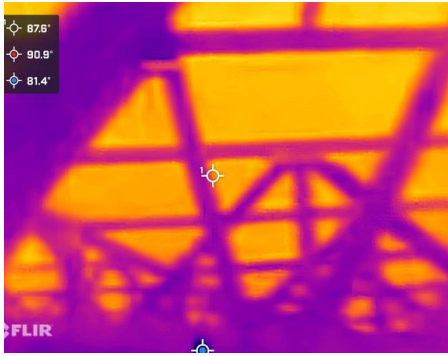
Information

General Info: Inspection Method Walked/Crawled Where Possible	General Info: Roof Structure Type Roof Trusses	General Info: Insulation Type Blown-in Fiberglass, Fiberglass Batts
General Info: Ventilation Types Soffit Inlet Vents, Fixed Roof Deck Vents	General Info: Attic Accessibility Hindrances/Limitations Framing, Insulation Level, HVAC Ductwork	

General Info: General View of Attic







Clip



Truss space



7/16 decking



Nail length



Nail space

Limitations

General Info

ACCESSIBILITY LIMITATIONS

Attics are navigated to our fullest ability and all related components are inspected visually from an area that does not put either the inspector or the home at risk. The method of inspection is at the sole discretion of the inspector and depends on a number of factors including, but not limited to: accessibility, clearances, insulation levels, stored items, temperature, etc. Insulation is not moved or disturbed for visual accessibility of items. The inspection of this area is limited to visual portions only. And any areas that were not visible are excluded from this inspection. Hidden attic damage is always possible, and no attic can be fully evaluated at the time of the inspection.

Ventilation

VENTILATION LIMITATIONS

The attic ventilation was reported on by a visual inspection of the above designated ventilation sources, and looking for indications of improper ventilation. Measurements of ventilation sources are beyond the scope of a home inspection and were not conducted. No indications of inadequate ventilation was observed at the time of inspection unless otherwise noted in this report.

The attic and roof cavity ventilation is a frequently-misunderstood element of residential construction. All roof cavities are required to have ventilation. The general default standard is 1 sq ft of ventilation for every 150 sq ft of attic area and ideally, this comes from at least 60% lower roof cavity ventilation and 40% upper, but this is a wild over-simplifications of the subject. As a good guiding principle the most important elements for healthy attic spaces are:

- Make sure the ceiling between the living space and the attic is airtight.
- Ventilate consistently across the whole lower part of the roof cavity with low, intake soffit venting.
- Upper roof cavity venting is less important and if over-installed can exacerbate heat loss into the attic from the living space.
- Avoid power ventilators which can depressurize the attic and exacerbate air migration from the house into the attic.

For more information, please see: <https://www.greenbuildingadvisor.com/article/1stibureks-rules-for-venting-roofs>

14: LAWN-IRRIGATION

Limitations

General

NOT PRESENT

Irrigation not present

15: ENVIRONMENTAL CONCERNS

Information

Fungal Growth: Fungal Growth and Mold Information

In accordance with the State of Florida standards of practice reporting on the presence of mold is excluded from a home inspection. **If we see obvious signs of fungal growth, we will recommend further evaluation and testing as a courtesy, but these individual references should not be construed as an all-inclusive listing of areas of fungal growth present.** Furthermore, the removal of personal belongings or any remodeling or repairs that may take place in the future may reveal fungal growth or mold that was not visible at the time of inspection. **If mold is a concern, you are advised to have a mold inspection and indoor air quality testing conducted by a certified mold inspector or industrial hygienist prior to the end of your inspection contingency period.**

Odors Present: Odors Information

If any odors are noticed in the home, they will be included in this section with recommendations made as needed. If no additional information is included in this report in respect to odors, then no discernible odors were present or noticed in the home at the time of inspection.

Lead Based Paint: Lead Based Paint Information

The possibility exists that homes built prior to 1978 may contain paint that was lead based. In accordance with the State of Florida standards of practice lead based paint is not reported on, or tested for during a home inspection. **If lead based paint is a concern, you are advised to consult an environmental company prior to the end of your inspection contingency period and have additional inspections specializing in environmental hazards.**

Asbestos: Asbestos Information

The possibility exists that homes built prior to 1978 may contain building components or items (textured ceiling material, adhesives, tile, tapes, insulation, etc) that contain asbestos. In accordance with the State of Florida standards of practice these items are not reported on during a home inspection. **If I see obvious signs of a material that I may believe to contain asbestos, I will recommend further evaluation as a courtesy, but these individual references should not be construed as an all-inclusive list.** Furthermore, any remodeling or repairs that may take place in the future may reveal asbestos or other environmental hazards that were not visible at the time of inspection. **If asbestos is a concern, you are advised to have a full environmental inspection by an environmental contractor prior to the end of your inspection contingency period.**

More information can be found at this link: <https://www.epa.gov/asbestos/protect-your-family-exposures-asbestos>

16: IMPORTANT INFORMATION/LIMITATIONS

Information

Important Information / Limitations: On site security

On site security is present, says
he will be going with sellers



Important Information / Limitations: Inspection Overview

LunsPro Home Inspections strives to perform all inspections in substantial compliance with the Standards of Practice as set forth by the State of Florida ([FL Standards of Practice](#)). As such, we inspect the readily accessible, visually observable, installed systems and components of the home as designated in these Standards of Practice. When systems or components designated in the Standards of Practice were present but were not inspected, the reason(s) the item was not inspected will be stated. This inspection is neither technically exhaustive or quantitative.

There may be comments made in this report that exceed the required reporting of the FL Standards of Practice, these comments (if present) were made as a courtesy to give you as much information as possible about the home. Exceeding the Standards of Practice will only happen when we feel we have the experience, knowledge, or evidence to do so. There should be no expectation that the Standards of Practice will be exceeded throughout the inspection, and any comments made that do exceed the standards will be followed by a recommendation for further evaluation and repairs by applicable tradespeople.

This report contains observations of those systems and components that, in our professional judgement, were not functioning properly, significantly deficient, or unsafe. **All items in this report that were designated for repair, replacement, maintenance, or further evaluation should be investigated by qualified tradespeople within the clients contingency period**, to determine a total cost of said repairs and to learn of any additional problems that may be present during these evaluations that were not visible during a "visual only" Home Inspection.

This inspection is not equal to extended day-to-day exposure and will not reveal every concern or issue that may be present, but only those significant defects that were accessible and visible at the time of inspection. This inspection can not predict future conditions, or determine if latent or concealed defects are present. The statements made in this report reflect the conditions as **existing at the time of inspection only**, and expire at the completion of the inspection. The limit of liability of LunsPro Home Inspections and its employees, officers, etc. does not extend beyond the day the inspection was performed. As time and differing weather conditions may reveal deficiencies that were not present at the time of inspection, including but not limited to: roof leaks, water infiltration into crawl spaces or basements, leaks beneath sinks, tubs, and toilets, water running at toilets, the walls, doors, and flooring, may be damaged during moving, etc. Refer to the State of Florida Standards of Practice (linked to above), and the Inspection agreement regarding the scope and limitations of this inspection.

This inspection is **NOT** intended to be considered as a **GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, regarding the operation, function, or future reliability of the home and its components. AND IT SHOULD NOT BE RELIED ON AS SUCH.** This report is only supplemental to the Sellers Disclosure and Pest (WDO) Inspection Report and should be used alongside these documents, along with quotes and advice from the tradespeople recommended in this report to gain a better understanding of the condition of the home and expected repair costs. Some risk is always involved when purchasing a property and unexpected repairs should be anticipated, as this is unfortunately, a part of home ownership. One Year Home Warranties are sometimes provided by the sellers, and are **highly recommended** as they may cover future repairs on major items and components of the home. If a warranty is not being provided by the seller(s), your Realtor can advise you of companies who offer them.

Important Information / Limitations: Notice to Third Parties

Notice to Third Parties: This report is the property of LunsPro Home Inspections. The Client(s) and their Direct Real Estate Representative named herein have been named as licensee(s) of this document. This document is **non-transferrable, in whole or in part, to any and all third-parties, including; subsequent buyers, sellers, and listing agents.** Copying and pasting deficiencies to prepare the repair request is permitted. **THE INFORMATION IN THIS REPORT SHALL NOT BE RELIED UPON BY ANY ONE OTHER THAN THE CLIENT NAMED HEREIN.** This report is governed by an Inspection agreement that contained the scope of the inspection, including limitations, exclusions, and conditions of the copyright. **Unauthorized recipients are advised to contact a qualified Home Inspector of their choosing to provide them with their own Inspection and Report.**

Important Information / Limitations: Items Not Inspected and Other Limitations

ITEMS NOT INSPECTED - There are items that are not inspected in a home inspection such as, but not limited to; fences and gates, pools and spas, outbuildings or any other detached structure, washers / dryers, storm doors and storm windows, screens, window AC units, gas furnace heat exchangers, central vacuum systems, water softeners, alarm and intercom systems, and any item that is not a permanent attached component of the home. Also drop ceiling tiles are not removed, as they are easily damaged, and this is a non-invasive inspection. Subterranean systems are also excluded, such as but not limited to: sewer lines, septic tanks, water delivery systems, and underground fuel storage tanks.

Water and gas shut off valves are not operated under any circumstances. As well, any component or appliance that is unplugged or "shut off" is not turned on or connected for the sake of evaluation. We don't have knowledge of why a component may be shut down, and can't be liable for damages that may result from activating said components/appliances.

Also not reported on are the causes of the need for a repair; The methods, materials, and costs of corrections; Recalled appliances, items, and/or components; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; The insurability of the structure or any of its items or components; Any component or system that was not observed; Calculate the strength, adequacy, design, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility. Also excluded is the proper installation of Stucco and EIFS and the repercussions of improper installation including water damage to the structure.

Lastly a home inspection does not address environmental concerns such as, but not limited to: Asbestos, lead, lead based paint, radon, mold, wood destroying insects or organisms (termites, etc), cockroaches, rodents, pesticides, fungus, treated lumber, Chinese drywall, mercury, or carbon monoxide.





Important Information / Limitations: Thermal Imaging Information

THERMAL IMAGING: An infrared camera may be used for specific areas or visual problems, and should not be viewed as a full thermal scan of the entire home. Additional services are available at additional costs and would be supplemented by an additional agreement/addendum. Temperature readings displayed on thermal images in this report are included as a courtesy and should not be wholly relied upon as a home inspection is qualitative, not quantitative. These values can vary +/- 4% or more of displayed readings, and these values will display surface temperatures when air temperature readings would actually need to be conducted on some items which is beyond the scope of a home inspection. If a full thermal scan of the home is desired, please reach out to us to schedule this service for an additional fee.

Important Information / Limitations: Building Permit Records

A list of building permit records can be a strong indicator that proper building practices were followed during the construction and/or renovation of the residence. Any permits provided should be viewed as a courtesy only, and not be construed as an all-inclusive listing of historical records.

Important Information / Limitations: Other Notes - Important Info

INACCESSIBLE AREAS: In the report, there may be specific references to areas and items that were inaccessible or only partly accessible. We can make no representations regarding conditions that may be present in these areas that were concealed or inaccessible for review. With access and an opportunity for inspection, reportable conditions or hidden damage may be found in areas that were not accessible or only partly accessible and these conditions or damage is excluded from this inspection.

QUALITATIVE vs QUANTITATIVE - A home inspection is not quantitative, when multiple or similar parts of a system, item, or component are found to have a deficiency, the deficiency will be noted in a qualitative manner such as "multiple present or one or more" etc. A quantitative number of deficient parts, pieces, or items will not be given as the repairing contractor will need to evaluate and ascertain the full amount or extent of the deficiency or damage. **This is not a technically exhaustive inspection.**

REPAIRS VERSUS UPGRADES - We inspect homes to today's safety and building standards. Therefore some recommendations made in this report may have not been required when the home was constructed. Building standards change and are improved for the safety and benefit of the occupants of the home and any repairs and/or upgrades mentioned should be considered for safety, performance, and the longevity of the homes items and components. Although, we will address some recommended upgrades in the report, this should not be construed as a full listing of items that could potentially be upgraded. To learn of **ALL** the ways the home could be brought up to today's building and safety standards, full and exhaustive evaluations should be conducted by qualified tradespeople.

COMPONENT LIFE EXPECTANCY - Components may be listed as having no deficiencies at the time of inspection, but may fail at any time due to their age or lack of maintenance, that couldn't be determined by the inspector.

PHOTOGRAPHS: Several photos are included in your inspection report as a courtesy and are not required by The State of FL Standards of Practice. These photos are for informational purposes only and do not attempt to show every instance or occurrence of a defect.

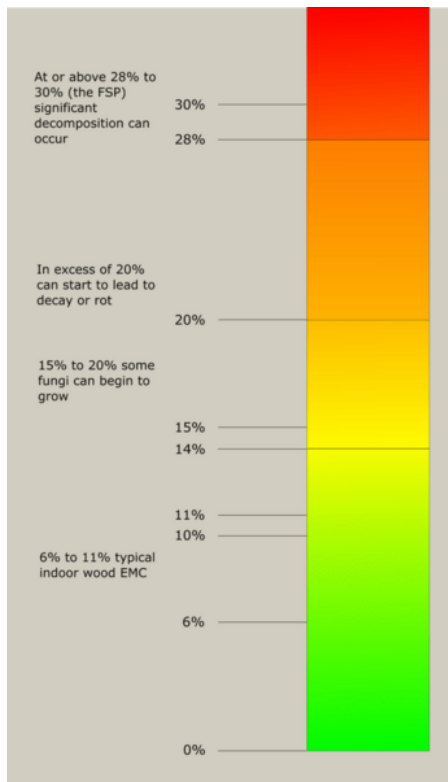
TYPOGRAPHICAL ERRORS: This report is proofread before sending it out, but typographical errors may be present. If any errors are noticed, please feel free to contact us for clarification.

Please acknowledge to us once you have completed reading this report. At that time we will be happy to answer any questions you may have, or provide clarification. Non-acknowledgement implies that you understood all information contained in this report.

Important Information / Limitations: Moisture Meter Information

FYI - A moisture meter was used where necessary to confirm or rule out the presence of moisture. Any pictures including a moisture meter should be seen as qualitative readings only, as it will be the job of repairing contractors to determine the quantifiable readings of moisture, the extent of the moisture, and its source. Rule of thumb reading are as follows:

- 16-19% - Fungal growth and mold can grow, thrive, and produce spores.
- 20-26% - Wood Decay begins.
- 27%+ - Wood Decay rapidly accelerates.
- 30%+ - FSP The fiber saturation point has been reached and the wood is fully saturated with water/moisture.



Important Information / Limitations: Further Evaluation Information

If Further evaluation and repairs have been recommended in the report. It is highly recommended that these recommendations are followed, as these professionals can find latent or concealed defects that would not have been visible during a visual only home inspection. A better understanding of repair and replacement costs can also be garnered by consulting these professionals.

Important Information / Limitations: Comment Key - Definitions

This report divides deficiencies into three categories; Significant/Major Defects (**in red**), Marginal Defects (**in orange**), and Minor Defects/Maintenance Items/FYI (**colored in blue**). Safety Hazards or Concerns will be listed in the **Red** or **Orange** categories depending on their perceived danger, but should always be addressed ASAP.

Significant Defects - Items or components that were not functional, represent a serious safety concern, and/or may require a major expense to correct. Items categorized in this manner require further evaluation and repairs or replacement as needed by a Qualified Contractor **prior to the end of your contingency period.**

Marginal Defects - Items or components that were found to include a safety hazard, or a functional or installation related deficiency. These items may have been functional at the time of inspection, but this functionality may be impaired, not ideal, and/or the defect may lead to further problems (most defects will fall into this categorization). Repairs or replacement is recommended to items categorized in this manner for optimal performance and/or to avoid future problems or adverse conditions that may occur due to the defect, prior to the end of your contingency period. Items categorized in this manner typically require repairs from a Handyman or Qualified Contractor **and are not considered routine maintenance or DIY repairs.**

Minor Defects/Maintenance Items/FYI - This categorization will include items or components that may need minor repairs that can improve their functionality, and/or items found to be in need of recurring or basic general maintenance. This categorization will also include FYI items that could include observations, important information, limitations, recommended upgrades to items, areas, or components, as well as items that were nearing, at, or past the end of their typical service life, but were in the opinion of the inspector, still functional at the time of inspection. Major repairs or replacement should be anticipated, and planned for, on any items that are designated as being past, or at the end of their typical life. These repairs or replacement costs can sometimes represent a major expense; i.e. HVAC systems, Water Heaters, Plumbing pipes, etc.

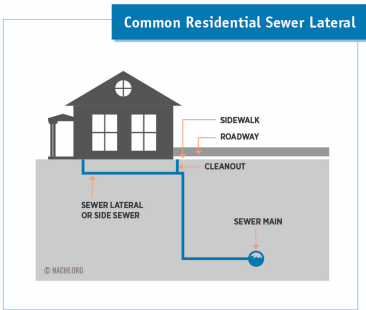
These categorizations are in my professional judgement and based on what I observed at the time of inspection. This categorization should not be construed as to mean that items designated as "**Minor defects**" or "**Marginal Defects**" do not need repairs or replacement. **The recommendations in each comment is more important than its categorization.** Due to your perception, opinions, or personal experience you may feel defects belong in a different category, and you should feel free to consider the importance you believe they hold during your purchasing decision.

Once again, it's the "Recommendations" in the text of the comment pertaining to each defect that is paramount, not its categorical placement. Neglecting attention, repairs, servicing, and/or maintenance can allow items designated as Blue to turn to Orange, Orange items to Red, etc.

17: SEWER SCOPE

Information

General: In Attendance Client, Client's Agent	General: Occupancy Occupied	General: Type of Building Single Family
General: Weather Conditions Clear	Drain System: Materials from access PVC All sewer line materials are not always identifiable.	



Video/Pictures: Video/Pictures

Please click link below or copy and paste to search bar to watch the sewer line video inspection:

[Video](#)

Overview: Overview

LunsPro Inspection Services was retained for a survey of the building main sewer line in an effort to identify areas of suspect clogs or damage and to document the areas for further review. Further investigations of these areas or destructive testing may reveal additional conditions that were not readily visible at time of inspection. This report is based on information obtained at the site at the given date and time. We document our findings with videos and visual photographs of the areas. The purpose of any sewer scan service is to document problems in sewer lines. Our inspection is designed to comply with accepted industrial standards when at all possible and will be performed in a non-destructive manner, however at times destructive testing may be necessary. Prior to any destructive testing, the client will be notified and approval by the client prior to commencing additional testing. Our inspection is not meant to be a guarantee of all affected areas; only those that reveal themselves to our sewer camera, visual inspection and our experience.

This report is for the exclusive use of our Client and is not intended for any other purpose. The report is based on the information available to us at this time as described in the report. Should additional information become available at a later date, we reserve the right to determine the impact, if any, the new information may have on our discovery and recommendations and to revise our opinions and conclusions if necessary and warranted. We can make no representations regarding conditions that may be present but concealed or inaccessible during the survey. With access and an opportunity for inspection, additional reportable conditions may be discovered. Inspection of the inaccessible areas will be performed at an additional cost after access is provided.

Orientation

We will describe the locations of the various features of this property, left or right, etc., as though we were standing in street looking at the front of building or looking at it as the cover photo.

This report includes:

Sewer inspection digital report with explanations.

Overview: Comment key and definitions

Moderate = The area while perhaps functioning as intended is in need of **moderate** repair, service; is showing signs of wear or deterioration that could result in an adverse condition at some point in the future; or considerations should be made in upgrading the area to enhance the proper function. Items falling into this category can frequently be addressed by a **qualified contractor** and are not considered routine maintenance or DIY items.

Major = The area noted poses a Major concern to the sewer lateral and or main drain line of the home.

The areas noted that are **Not** functioning as intended, or needs further evaluation by a specialized qualified licensed plumbing contractor or can cause problems to the sewer lines. Areas that can be repaired to satisfactory condition may not need replacement.

Overview: Analysis and Recommendations

We recommend that your maintenance team carefully review this report. Then, with reference to the imagery and areas denoted in the report, these areas should be physically located and given a thorough visual examination. When warranted, these areas should be subjected to a destructive investigation to confirm the analysis and determine the possible detrimental effects the blockage may have caused. We recommend a specialist conduct additional testing as needed to evaluate the reliability of system. Any destructive testing performed as authorized by the client must be repaired by others and is not considered in this scope of our work. Services such as interpretation of visual patterns documented in this report and any remedial and replacement recommendations should be performed by knowledgeable experts.

We recommend all areas we locate in this report showing blockage and other anomalies should be evaluated further to find out the cause and repaired. Our recommendations are not intended as criticisms of the building, but rather as professional opinions regarding conditions that we observed.

Our reports are designed to be clear, concise and useful. Please review this report carefully. If there is anything you would like us to explain, or if there is other information you would like, please feel free to call us as we would be happy to answer any questions.

Limitations

General

CLIENTS REPORT

This report is for the person(s) named in the Client section only. Unauthorized use is prohibited without said Client(s) and Lunspro Home Inspections permission. Liability under this report is limited to the party identified on the cover page of this report.

General

SEWER SCAN

A Sewer Scan was requested of the main drain line from house to city or private sewer connection. The following is a report of our findings. If a video was completed, it will be provided under attachment section.

Recommendations

17.2.1 Drain System

NO CONCERNS NOTED

Recommendation

Contact a qualified professional.

 Recommendation

STANDARDS OF PRACTICE

Exterior

4.1 The inspector shall: A. inspect: 1. wall coverings, flashing, and trim. 2. exterior doors. 3. attached and adjacent decks, balconies, stoops, steps, porches, and their associated railings. 4. eaves, soffits, and fascias where accessible from the ground level. 5. vegetation, grading, surface drainage, and retaining walls that are likely to adversely affect the building. 6. adjacent and entryway walkways, patios, and driveways. B. describe wall coverings. 4.2 The inspector is NOT required to inspect: A. screening, shutters, awnings, and similar seasonal accessories. B. fences, boundary walls, and similar structures. C. geological and soil conditions. D. recreational facilities. E. outbuildings other than garages and carports. F. seawalls, break-walls, and docks. G. erosion control and earth stabilization measures.

Roof

In accordance with the Florida Standards of Practice the home inspector shall observe: The roof covering, roof drainage systems, visible flashings, skylights, chimneys, and roof penetrations; and report on signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials, and Report on the method used to observe the roofing.

The home inspector is not required to: Walk on the roofing (although every safe attempt to do so, will be taken), report on the age or remaining life of the roof covering, move leaves, snow, or other items on the surface that may block visual accessibility, or observe attached accessories including but not limited to solar systems, antennae, satellite dishes and lightning arrestors. No claims will be made as to remaining roof material life expectancy, and no guarantee or warranty should be expected from comments or observations. The sellers or the occupants of a residence will generally have the most relevant knowledge of the roof and of its history. Therefore, I recommend that you consult with the sellers about the age of the roof covering, and that you either include comprehensive roof coverage in your home insurance policy, or that you obtain a roof certification from an established local roofing company.

Electrical

In accordance with the State of Florida Standards of Practice the home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, the main over current device, and main and distribution panels; Amperage and voltage ratings of the service (if the conductors' sizing text is present / legible); Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages. The home inspector shall describe: Service amperage and voltage (if known); Service entry conductor materials; Service type as being overhead or underground; and the location of main and distribution panels. The home inspector shall report on: the presence of any observed aluminum branch circuit wiring.

The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Motion or Dusk to Dawn lighting, Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system.

Interior Areas

In accordance with the Florida Standards of Practice the home inspector shall observe: walls, ceilings, and floors; steps, stairways, balconies, and railings; counters and a representative number of installed cabinets; and a representative number of doors and windows; fireplaces by examining the firebox, operating the damper, and reporting on the presence of a gas shut off valve. The home inspector shall: Operate a representative number of receptacles, switches, windows, and interior doors; and report on signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.

The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting, tile; or Draperies, blinds, or other window treatments. Gas fireplaces are not tested for functionality, and the pilot light will not be lit if it's off at the time of

Kitchen

In accordance with the Florida Standards of Practice the inspector will examine and report on the condition and operation of the dishwasher by initiating a cycle, the range by testing heating elements and the oven, the mounted microwave by starting a warm-up cycle, test the hot/cold water supply at the fixture, look for leaks in the plumbing and fixtures/faucet, examine counters, walls, ceilings, floors, a representative number of cabinets, windows, doors, and the presence of GFCI receptacles and their operation, if applicable. Homes built prior to 1987 were not required to have GFCI receptacles in the kitchen, but upgrading is recommended for safety.

The home inspector is not required to report on: Clocks, timers, self-cleaning oven functions, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Bathroom(s)

In accordance with the Florida Standards of Practice the inspector will examine and report the condition of the: sinks, showers, tubs, enclosures, toilets, exposed plumbing, presence of leaks from plumbing, fixtures, and/or faucets. As well as the walls, floors, ceilings, a representative number of windows and doors, heating/cooling source, ventilation, and presence of GFCI protection, if applicable. GFCI protection in bathrooms was not required in homes built prior to 1975; but upgrading is recommended for safety.

The **home inspector is not required to:** Operate any valve except water closet flush

Laundry

In accordance with the State of Florida Standards of Practice the inspector will examine and report on the condition of: the exposed plumbing; presence of a 240 volt receptacle, GFCI receptacles, dryer vent condition and termination, as well as the walls, floors, ceilings, doors, cabinets, counters, and windows, if applicable.

The inspector is not required to: Inspect or move washers and dryers, operate water valves where the flow end of the faucet is connected to an appliance, Inspect the plumbing for proper sizing, design, or use of proper materials.

Plumbing

In accordance with industry standards the home inspector shall observe at visible portions: Interior water supply and distribution system, including: piping materials and supports; fixtures and faucets; functional flow; leaks; and cross connections. Interior drain, waste, and vent system, including: traps; drain and waste lines; leaks; and functional drainage. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; and Location of the main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance.

The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

Water Heater

In accordance with the State of Florida Standards of Practice the inspector will examine and report the condition: of the water heater enclosure, plumbing supply, energy source, venting, and TPR valve, if applicable. The inspector is not required to: activate the system if it is powered down, or the pilot flame is not lit, Inspect the system for proper sizing, design, or use of proper materials.

Heating, Cooling

In accordance with the State of Florida Standards of Practice the home inspector shall observe: the permanently installed heating and cooling systems including: Heating and cooling equipment that is central to the home; visible ducts and piping, air filters, registers, and the presence of an installed heating and cooling source in each room. The home inspector shall describe: the energy source and heating equipment. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily accessible access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms. Efficiency of the units and load testing are not conducted. Air conditioning units can not be tested when temperatures are lower than 60 degrees, due to the possibility of damaging the compressor. Clients are advised to have an HVAC company to perform maintenance on the system on an annual basis.

Attic, Roof Structure, & Ventilation

In accordance with the State of Florida Standards of Practice the inspector will examine: the attic area and report on the condition of the access opening (including location), insulation type (and current depth), ducts, visible electrical components, exhaust terminations, plumbing components, and ventilation if applicable.

The inspector is not required to: move or disturb insulation, or report on the adequacy of current ventilation, Calculate the strength, adequacy, or efficiency of any system or component including framing. Enter any attic that may damage the property or its components or be dangerous to or adversely affect the health or safety of the home inspector or other persons. Therefore, I do not attempt to enter attics with less than 36" of headroom; where insulation obscures the ceiling joists; or where ducts block access. In these cases I will evaluate

Lawn-Irrigation

Lawn-Irrigation tests are NOT within the scope of a home inspection in accordance with InterNACHI Standards of Practice (2.2, III, E). These systems are inspected as a courtesy at no additional charge. Much of these systems are underground and are not accessible. System was checked in manual mode only. If any issues are noted with the sprinkler system, or if you have any concerns, then a thorough inspection by a licensed irrigation contractor is advised. Monitoring

and maintenance of the system is required.

If a rain sensor was found, it was visually inspected only. A rain sensor senses rain, and when triggered shuts the system off or does not allow it to initiate. Verify with the HOA regarding the source of the water; if it is reclaimed water, it may require an additional county inspection. Some counties require specific irrigation equipment and an inspection by a licensed specialist is advised.

Environmental Concerns

Items reported on in this section are beyond the scope of a home inspection and were included as a courtesy for your information, these items should not be viewed as an all-inclusive listing of deficiencies in the related area of concern. Evaluations are recommended by qualified professionals in any environmental or pest related field prior to the end of your inspection contingency period.